

PERMIT

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Avenue, Napoleon, Ohio 43545 - 419-592-4010

Permit No. 01856 Issued 10-20-89
date

Job Location 960 Chesterfield Drive
address

Lot 11 Twin Oaks 1st Addition
sub-div or legal discript

Issued By Eldon Huber
building official

Owner Mark Saul 592-5507
name tel.

Address 321 Brownell Napoleon

Agent Beck's Construction
builder-eng.-etc. tel.

Address 11622 Road M Napoleon

Description of Use Residence

Residential 1
no. dwelling units

Commercial _____ Industrial _____

New Add'n. _____ Alter _____ Remodel _____

Mixed Occupancy _____

Change of Occupancy _____

Estimated Cost \$ 100,000.00

FEE	BASE	PLUS	TOTAL
<input checked="" type="checkbox"/> BUILDING	9.00	228.00	237.00
<input checked="" type="checkbox"/> ELECTRICAL	15.00	75.00	90.00
<input checked="" type="checkbox"/> PLUMBING	9.00	36.00	45.00
<input checked="" type="checkbox"/> MECHANICAL	18.00	14.00	32.00
<input checked="" type="checkbox"/> DEMOLITION			
<input type="checkbox"/> ZONING	5.00		5.00
<input checked="" type="checkbox"/> SIGN			
<input type="checkbox"/> WATER TAP	375.00	.00	375.00
SEW. INSP.			
SEWER TAP	60.00	.00	318.00 60.00
TEMP. WATER	5.00	.00	5.00
TEMP. ELECT.	10.00		10.00
ADDITIONAL PLAN REVIEW	Struct. _____ hrs		
	Elect. _____ hrs		
TOTAL FEES.....			1177.00
LESS MIN. FEES PAID _____			
			<small>date</small>
BALANCE DUE.....			

ZONING INFORMATION

district	lot dimensions	area	front yd	side yds	rear yd
S	149.97' X 193.62'	26339.4 SF	40'	L-35.5' R-55'	68.8'
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd	date appr
35'	2-min		30%		

WORK INFORMATION:

Size: Length 73' Width 40' Stories 1

Height 8 Building Volume (for demo. permit) _____ cu. ft.

Garage Fl. Area 720
 Basement Fl. Area 1298
 Second Fl. Area 1190
 Ground Floor Area 1298

Electrical: 200 AMP underground service & 25 new circuits
brief description

Plumbing: 3 1/2 bath, kitchen, and laundry
brief description

Mechanical: Natural gas fired forced air furnace and 16 hot air runs
brief description

Sign: _____ Dimensions _____ Sign Area _____

Additional Information: New 2 story residence

Date 10/31/89 Applicant Signature Robert L Beck **PAID**
owner-agent **OCT 31 1989**
CITY OF NAPOLEON

INSPECTION RECORD

	UNDERGROUND			ROUGH-IN					FINAL			
	Type	Date	By	Type	Date	By	Type	Date	By	Type	Date	By
PLUMBING	Building Drains			Drainage, Waste & Vent Piping	11/12	EH	Indirect Waste			Drainage, Waste & Vent Piping	5/15	EH
	Water Piping									Backflow Prevention	3/15	
	Building Sewer	11/6	EH	Water Piping			Condensate Lines			Water Heater	3/15	
	Sewer Connection									FINAL APPROVAL	3/15	EH
MECHANICAL	Refrigerant Piping			Refrigerant Piping			Chimney(s)			Grease Exhaust System		
				Duct Furnace(s)		EH	Fire Dampers			Air Cond. Unit(s)		
	Ducts/Plenums	EH		Ducts/Plenums		EH	<input type="checkbox"/> Radiant Htr(s) <input type="checkbox"/> Unit Htr(s)			Refrigeration Equipment		
				Duct Insulation		EH	Pool Heater			Furnace(s)		
				Combustion Products Vents	1	EH	Ventilation <input type="checkbox"/> Supply <input type="checkbox"/> Exhst.			FINAL APPROVAL		
ELECTRICAL	Conduits & or Cable			Conduits/ Cable			<input type="checkbox"/> Range <input type="checkbox"/> Dryer			Temp Service Temp Lighting		
	Grounding & or Bonding			Rough Wiring			<input type="checkbox"/> Generator(s) <input type="checkbox"/> Motors			Fixtures Lampholders		
	Floor Ducts Raceways			Service Panel Switchboard			<input type="checkbox"/> Water Htr <input type="checkbox"/> Welder			Signs		
	Service Conduit			Busways Ducts			<input type="checkbox"/> Heaters <input type="checkbox"/> Heat Cable			Electric Mtr. Clearance		
	Temporary Power Pole			Subpanels			<input type="checkbox"/> Duct Htr(s) <input type="checkbox"/> Furnace(s)			FINAL APPROVAL		
BUILDING	Location, Set-backs, Esmt(s)		EH	Exterior Wall Construction		EH	Roof Covering Roof Drainage		EH	Smoke Detector		
	Excavation		EH				Exterior Lath			Demolition (sewer cap)		
	Footings & Reinforcing						<input type="checkbox"/> Interior Lath <input type="checkbox"/> Wallboard					
	Floor Slab			Interior Wall Construction		EH	Fire Wall(s)			Building or Structure		
	Foundation Walls	11/1	EH	Columns & Supports			Fireplace Chimney					
	Sub-soil Drain			Crawl Space Vent Access		EH	Attic Vent Access		EH			
	Piles			Floor System(s)		EH				FINAL APPROVAL BLDG. DEPT.		
			Roof System		EH	Special Insp Reports Rec'd			Certificate of Occupancy Issued			
ADDITIONAL	INSPECTIONS, CORRECTIONS, ETC.						INSPECTIONS, CORRECTIONS, ETC.					
	* GRINDER PUMP TO DR DIA9 INSTALLED FOR BASEMENT FL. DR DATE TO DO IT						11/6 EH					
	CITY OF MADISON											

RESIDENTIAL PLAN CORRECTION SHEET

CITY OF NAPOLEON
255 West Riverview Ave.
Napoleon, Ohio 43545
419/592-4010

ADDENDUM TO Permit No. 01856-11
Owner MARK SAUE
Contractor BECK'S CONSTRUCTION
Location 760 CHESTERFIELD DR.

Note the items checked below and incorporate them into your plans as indicated: PERMIT NOT ISSUED, CORRECT PLANS AND RE-SUBMIT. PERMIT ISSUED, INCORPORATE ITEMS DURING CONSTRUCTION.

GENERAL			
<input type="checkbox"/>	Provide approved smoke detector(s) as req'd.		
<input checked="" type="checkbox"/>	Provide 1/2" gypsum wallboard between dwelling and garage, on garage side.		
<input checked="" type="checkbox"/>	Provide min. 1 3/8" solid wood door from garage to dwelling. (or equal)		
<input checked="" type="checkbox"/>	Submit fully dimensioned plot plan. <i>SHOWING SIDE-WALKS</i>		
<input type="checkbox"/>	Provide min. of 1-3'0" x 6'8" exit door.		
<input type="checkbox"/>	Provide min. 22" x 30" attic access opening.		
<input type="checkbox"/>	Provide min. 18" x 24" crawl space access opening.		
<input type="checkbox"/>	Provide approved sheathing or flashing behind masonry veneer.		
<input type="checkbox"/>	Provide min. 15# underlayment on roof.		
<input type="checkbox"/>	Provide adequate fireplace hearth.		
<input type="checkbox"/>	Install factory built fireplaces/stoves according to manufacturers instructions.		
<input type="checkbox"/>	Terminate chimney 2' above roof or 2' above highest point of building within 10' of chimney.		
LIGHT AND VENTILATION			
<input type="checkbox"/>	Provide mechanical exhaust or window in bathroom		
<input type="checkbox"/>	Provide min. _____ Sq. In. net free area attic ventilation.		
<input type="checkbox"/>	Provide min. _____ Sq. In. net free area crawl space ventilation.		
FOUNDATION			
<input type="checkbox"/>	Min. depth of foundation below finished grade is 32".		
<input type="checkbox"/>	Min. size of footer _____" x _____"		
<input checked="" type="checkbox"/>	Provide anchor bolts 1/2" @ 6' o.c. 1' from each corner. Embedded 7" in concrete and 15" in masonry.		
<input type="checkbox"/>	Show size of basement columns.		
FRAMING			
<input type="checkbox"/>	Show size of wood girder in _____.		
<input type="checkbox"/>	Provide design data for structural member in _____.		
<input type="checkbox"/>	Floor joists undersized in _____.		
<input type="checkbox"/>	Provide double joists under parallel bearing partitions.		
<input checked="" type="checkbox"/>	Provide 1" x 4" let in corner bracing, approved sheathing, or equal.		
<input type="checkbox"/>	Show size of headers for openings over 4' wide _____.		
<input type="checkbox"/>	Show size of members supporting porch roof.		
<input type="checkbox"/>	Provide double top plate for all bearing partitions and exterior walls.		
<input type="checkbox"/>	Provide design data for prefab wood truss.		
<input type="checkbox"/>	Ceiling joists undersized in _____.		
<input type="checkbox"/>	Roof rafters undersized in _____.		
PLUMBING AND MECHANICAL			
<input checked="" type="checkbox"/>	Terminate all exhaust systems to outside air.		
<input checked="" type="checkbox"/>	Insulate ducts in unheated areas.		
<input checked="" type="checkbox"/>	Provide backflow prevention device on all hose bibs.		
<input checked="" type="checkbox"/>	Terminate pressure and temperature relief valve drain in an approved manner.		
<input type="checkbox"/>	Provide dishwasher drain with approved air gap device.		
METAL VENEERS			
<input type="checkbox"/>	Contact City Utilities Dept. to remove conductors and/or meter.		
<input type="checkbox"/>	Provide approved system of grounding and bonding.		
ELECTRICAL			
<input type="checkbox"/>	Show location of service entrance panel and service equipment panel.		
<input checked="" type="checkbox"/>	G. F. C. I. req'd. on temporary electric.		
<input checked="" type="checkbox"/>	Outdoor, bathroom and garage receptacles shall be protected by G. F. C. I. <i>+ KITCHEN</i>		
<input checked="" type="checkbox"/>	Maximum number of receptacles permitted on a G. F. C. I. circuit shall be 10 for 20 A. circuits and 7 for 15A. circuits.		
<input checked="" type="checkbox"/>	Refrigerators, microwaves, washers, disposal, furnace and air conditioners shall be on separate circuits.		
INSPECTIONS			
The following indicated inspections are required. The owner or his agent shall contact the City Building Dept. at least 24 hrs prior to the time the inspection is to be made.			
<input checked="" type="checkbox"/>	Footers and Setbacks.	<input checked="" type="checkbox"/>	Building sewer.
<input checked="" type="checkbox"/>	Foundation.	<input checked="" type="checkbox"/>	HVAC rough-in.
<input checked="" type="checkbox"/>	Plumbing rough-in.	<input checked="" type="checkbox"/>	Final Building
<input checked="" type="checkbox"/>	Plumbing final.		other.
<input checked="" type="checkbox"/>	Electrical service.	<input checked="" type="checkbox"/>	<i>BUILDING FRAMING</i>
<input checked="" type="checkbox"/>	Electrical rough-in.		
<input checked="" type="checkbox"/>	Electrical final		

Additional Corrections. PROVIDE 3' x 3' STOODS @ ALL EXIT DOORS MAX 8"12" BELOW
THRESHOLD STAIRWAY MAX RL 8"14" TWIN TR 9" HAND RAIC HZ 30"7034
MAIN CELL HT. 6'8"

The approval of plans and specifications does not permit the violation of any section of the Building Code or other City Ordinance. This addendum is attached to Permit No. 01856 and made a part thereof. DATE APPROVED OR DISAPPROVED 01856 Checked by ELDON HUBER Plan Examiner.

DATE RECHECKED AND APPROVED _____ Checked by _____



APPLICATION
for
RESIDENTIAL BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, PERMITS and DEMOLITION PERMIT
from the

CITY OF NAPOLEON - BUILDING DEPARTMENT

255 West Riverview Ave. Napoleon, Ohio 43545 Pn. 419-592-4010

Entry No. _____
Permit No. 01856 Issued 10-20-89

Job Location Twin Oaks 960 CHESTERFIELD DR.
Lot 11 Twin Oaks 1st add.
Issued By F 31 sub-div. or legal disc.

Owner Mark Saul building official Pn 592-5507
Address 321 BROWNELL 522H Napoleon OH

Agent Beck's Const. Pn 592-8307
Address 11622 Rd M NAP. OHIO

Description of Use New Home RESIDENCE

Residential 1 no. dwelling units
Commercial _____ Industrial _____

New Add'n. _____ Alter _____ Remodel _____

Mixed Occupancy Family

Change of Occupancy _____
Estimated Cost \$ 100,000

-ZONING INFORMATION

district	lot dimensions	area	front yd	side yds.	rear yd
<u>5</u>	<u>149.97' x 193.62'</u>	<u>26,879.4 SIF</u>	<u>40'</u>	<u>2-35.5' 2-55'</u>	<u>48.8'</u>
max hgt	no pkg spaces	no ldg spaces	max cover	petition or appeal req'd.	date appr
<u>35'</u>	<u>2-MIN</u>		<u>70%</u>		

WORK INFORMATION:

BUILDING: Garage Fl. Area 720 Basement Fl. Area 1298 Second Floor Area 1190
Size: Length _____ Width _____ Stories _____ Ground Floor Area 1298
Height 8 Building Volume (for demo. permit) _____ cu. ft.
Description of Work: New 2 Story RESIDENCE

Ck. Permits Reg.	Base	Fees Plus	Total
<input checked="" type="checkbox"/> Building	<u>9.00</u>	<u>228.00</u>	<u>237.00</u>
<input checked="" type="checkbox"/> Electrical	<u>15.00</u>	<u>75.00</u>	<u>90.00</u>
<input checked="" type="checkbox"/> Plumbing	<u>9.00</u>	<u>36.00</u>	<u>45.00</u>
<input checked="" type="checkbox"/> Mechanical	<u>18.00</u>	<u>14.00</u>	<u>32.00</u>
Demolition			
<input checked="" type="checkbox"/> Zoning	<u>5.00</u>	<u>1.00</u>	<u>5.00</u>
Sign			
<input checked="" type="checkbox"/> Water tap	<u>375.00</u>	<u>1.00</u>	<u>375.00</u>
<input checked="" type="checkbox"/> Sewer Tap	<u>60.00</u>	<u>1.00</u>	<u>60.00</u>
<input checked="" type="checkbox"/> Temp. Water	<u>5.00</u>	<u>1.00</u>	<u>5.00</u>
<input checked="" type="checkbox"/> Temp. Elec.	<u>10.00</u>	<u>1.00</u>	<u>10.00</u>
Additional struc. _____ hrs			
plan review _____ hrs			
Total Fees.....		<u>1177.00</u>	
Less Min. Fees Pd. _____ date _____			
Balance Due.....			

Continue on Back Side for Electrical, Plumbing and Mechanical and other Information;

ELECTRICAL: Electrical Contractor Beck Pn. 592-8307
 Address 11622 Rd M Nap 0 Estimated Cost \$ _____
 Type of work: New _____ Service change _____ Rewiring _____ Additional Wiring _____ Temp. Elec. Req. _____ yes no
 Size of service X200A Underground X Overhead _____ No. of new circuits 25
 Description of work: 200 AMP UNDERGROUND SERVO + 25 CIR.

PLUMBING: Plumbing Contractor Meyers Pn. 592 6771
 Address Perry St Nap 0 Estimated Cost \$ _____
 Water Tap Req. yes no Size 1" Type of Pipe Plastic Water Dist. Pipe Nap type
 San. Sewer Tap Req. yes no Size 4 Type of Pipe Plastic Dr. Waste Vt. Pipe Sc 35 type
 St. Sewer Tap Req. yes no Size 4 Type of Pipe 4 Plastic Street to be Opened yes no
 Main Building Drain Size 4 Main Vent Pipe Size 3 List Number of Plumbing Fixtures Below
 Water Closets 3 Bathtubs 1 Showers 1 Lavatories 3 Kitchen Sinks 1 Disposal 1 Dishwasher 1 Clothes Washer 1
 Floor Drains 0 Other Fixtures: Type None No. _____
 Description of Work: Planning 3 1/2 BATH KITCHEN + LAUNDRY

MECHANICAL: Mechanical Contractor Meyers Pk & Hta. Pn. 592 6771
 Address Perry St Nap 0 Estimated Cost _____
 Heating System: Forced Air Gravity _____ Hot Water _____ Steam _____ Unit Heaters _____ Radiant _____ Baseboard _____
 Type of Fuel: Electric _____ Natural Gas Propane _____ Wood _____ Coal _____ Solar _____ Geothermal _____ Other _____
 No. of Heat Zones 1 Hot Water: (One Pipe _____ Two Pipe _____ Series Loop _____) Electric Heat: (No of Circuits _____) No. of Furnaces 1
 No. of Hot Air Runs 16 No. of Hot Water Radiators _____ Total Heat Loss X Rated Capacity of Furnace/Boiler X
 Location of Heating Units: Crawl Space _____ Floor Level _____ Attic _____ Suspended _____ Roof _____ Outside _____ Other _____
 Description of Work Heat NAT GAS FIRED FORCED AIR FURNACE + 16 HOT AIR RUNS

DRAWINGS REQUIRED: All Applications must be Accompanied by Two Complete sets of Drawings Including SITE PLAN, FOUNDATION PLAN, FLOOR PLANS, STRUCTURAL FRAMING PLANS, EXTERIOR ELEVATIONS, SECTIONS and DETAILS, STAIR DETAILS, ELECTRICAL LAYOUT, PLUMBING ISOMETRIC, HEATING LAYOUT ETC. All plans shall be DRAWN TO SCALE. Show all existing structures on the site plan also, show Electric Panel and Furnace Locations.

READ AND SIGN BELOW; The undersigned hereby makes application for a permit for all work described herein, and agrees to complete the work in strict accordance with all applicable provisions of the current edition of the C.A.B.D. Building Code, the Napoleon Building and Zoning Codes, the Napoleon Engineering Dept. Rules and Regulations, Standard Specifications and other Pertinent Sections of the Napoleon Code of Ordinances.

Date 10/11/89 Signature of Applicant [Signature] Application not valid without signature

SEWER TAPPING PERMIT

Issued by

The City of Napoleon Engineering Dept.

255 West Riverview Ave. Napoleon, Ohio 43545 Pn. 592-4010

Entry No. _____

Permit No. ~~SA. 0196~~ ⁰¹¹⁶ Issued 10-17-89 Build. Permit No. 01856

TAP CH: 318.00
Permit Fee \$ 60.00

Job Location ~~Twin Oaks~~ 960 CHESTERFIELD

Street Bond \$ _____

Lot 11 Twin Oaks
sub div. or legal disc. _____

Date Paid _____

Issued By _____

Owner Mark Saul Pn. _____

Address Scott St Nap O

Agent Beck's Const Co Pn. 592-8307

Address 11622 Rd M Napoleon O

for office use only

WORK INFORMATION

Sanitary Sewer Tap yes no Size of Tap 4 Size and Type of Sewer 4 Street to be Opened yes no

Storm Sewer Tap yes no Size of Tap 4 Size and Type of Sewer 4 Street to be Opened yes no

Street opening Agreement Approval Date NONE Opening Bond Fee (Set by Engineer) _____

READ AND SIGN BELOW; The undersigned hereby agrees complete the work described above and to make use of said sewers only as allowed by and in strict accordance with all applicable provisions of The Napoleon Engineering Dept. Rules and Regulations, The Napoleon Standard Specification for Water Main, Sanitary Sewer and Storm Sewer Construction and other Pertinent Sections of the Napoleon Code of Ordinances.

Date 10/11/89 Signature of Applicant Robert J Beck
Permit not valid without signature

INSPECTION RECORD

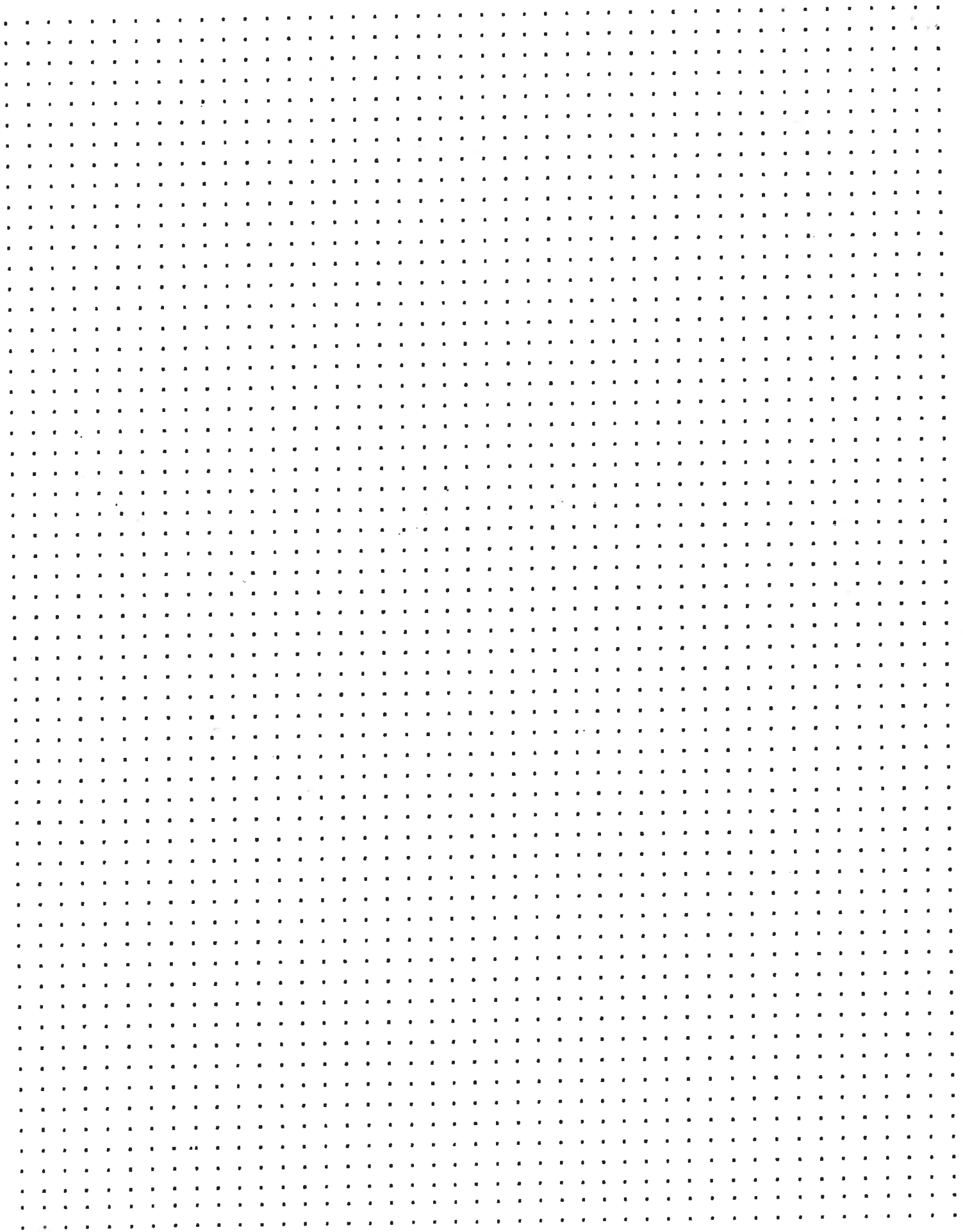
to be completed by the Field Inspector

Date Inspection is made 11-89 Size and Type of Sewer 4" S.D.P. 35 R.S.T. 30.34

Location SEE PLAN Depth SEE PLAN Type of Test NONE Additional Information _____

Date 11-89 Inspected By SONNY HELBERG
signature of inspector

Sketch Of Installation on Back or Attached

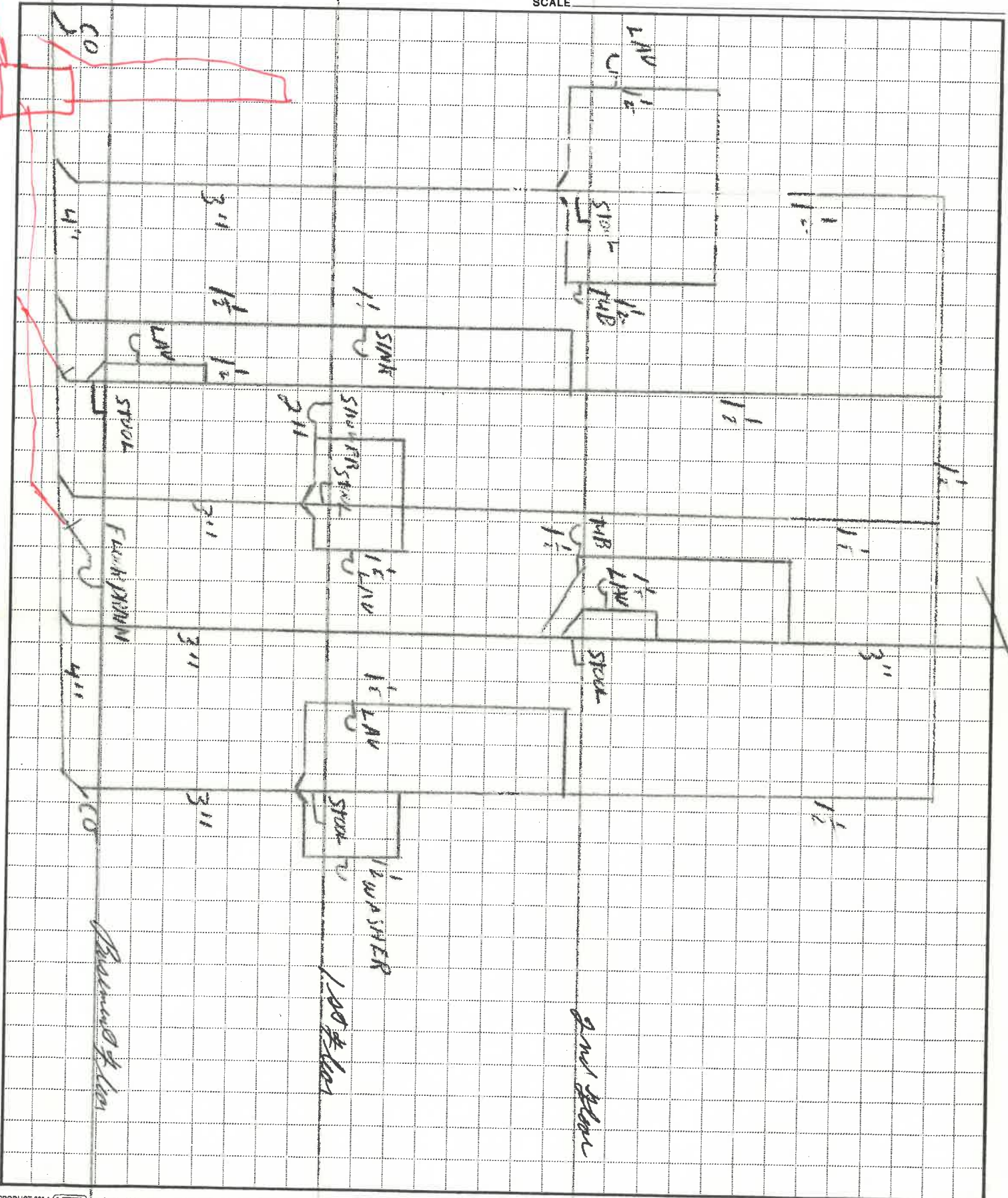


50 MB

Bill's Plumbing & Heating

William Elling
1201 Woodlawn Avenue
NAPOLEON, OHIO 43545

JOB Mark's Pool 11-2-89
SHEET NO. Buck Construction Co OF _____
CALCULATED BY _____ DATE _____
CHECKED BY _____ DATE _____
SCALE _____





City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010
NAPOLEON, OHIO 43545-0151

October 18, 1989

Beck's Construction
11622 Rd. M
Napoleon, Ohio 43545

Re: Mark Saul Residence
960 Chesterfield Drive

Mayor
Steven Lankenau

Members of Council
Lawrence Haase, President
Donald Stevens
James Hershberger
Terri A. Williams
John E. Church
Randy J. Bachman

City Manager
Terry Dunn

Finance Director
Rupert W. Schweinhagen

Law Director
Michael J. Wesche

Assistant Law Director
Jeffrey R. Lankenau

Dear Gentlemen:

I have completed my plan review of your drawings and have approved them subject to the following corrections.

Item No. 1: Ceiling joists supporting (Kal Coat - Veneer plaster). The maximum deflection allowed for plaster is 1/360 of the span as opposed to 1/240 of the span allowed for drywall, therefore.

Increase the ceiling joists over Breakfast Area and Bedroom number 3 to 2 X 8' @ 16" O.C.

Increase the garage ceiling joists to 2 X 12s @ 16" O.C. #1 SYP.

Item No. 2: Install headers at all openings in bearing walls.

Item No. 3: Provide stoops at all exit doors at a minimum of 3' X 3' and a maximum of 8 1/2" below the threshold.

Item No. 4: Stairways

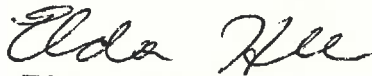
Minimum Clear Width	3'0"
Minimum Tread	9"
Maximum Rise	8 1/4"
Handrail Height	30" to 34"
Minimum Ceiling Height	6'8"
Maximum Openings in Handrails	6"

Item No. 5: Resubmit the site plan indicating the location of required public sidewalks, 4' wide and 1' from the property line.

Note: Please be advised that at this time, October 18, 1989, I am unable to issue a permit for this project. As soon as I receive the go ahead from the Engineering Department signifying that all of the final plat paperwork has been cleared, I will issue a permit and notify you that you can start.

If you have any questions regarding these items, I can be reached by phoning 592-4010.

Thank you for your cooperation,



Eldon Huber
Building Inspector



City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010
NAPOLEON, OHIO 43545-0151

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Law Director
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Assistant Law Director
Jeffrey R. Lankenau

November 2, 1989

Beck's Construction
11-622 County Road M
Napoleon, Ohio 43545

Re: Mark Saul residence
960 Chesterfield Drive
Permit No. 01856

Dear Mr. Beck:

This letter shall inform you that the deflection test has not been completed on the sewers. Therefore, at this point I cannot permit taps to be made.

As soon as the tests are complete to the satisfaction of the Engineering Department, I will let you know and you can go ahead with the work.

Sincerely,

Eldon Huber
Building Inspector

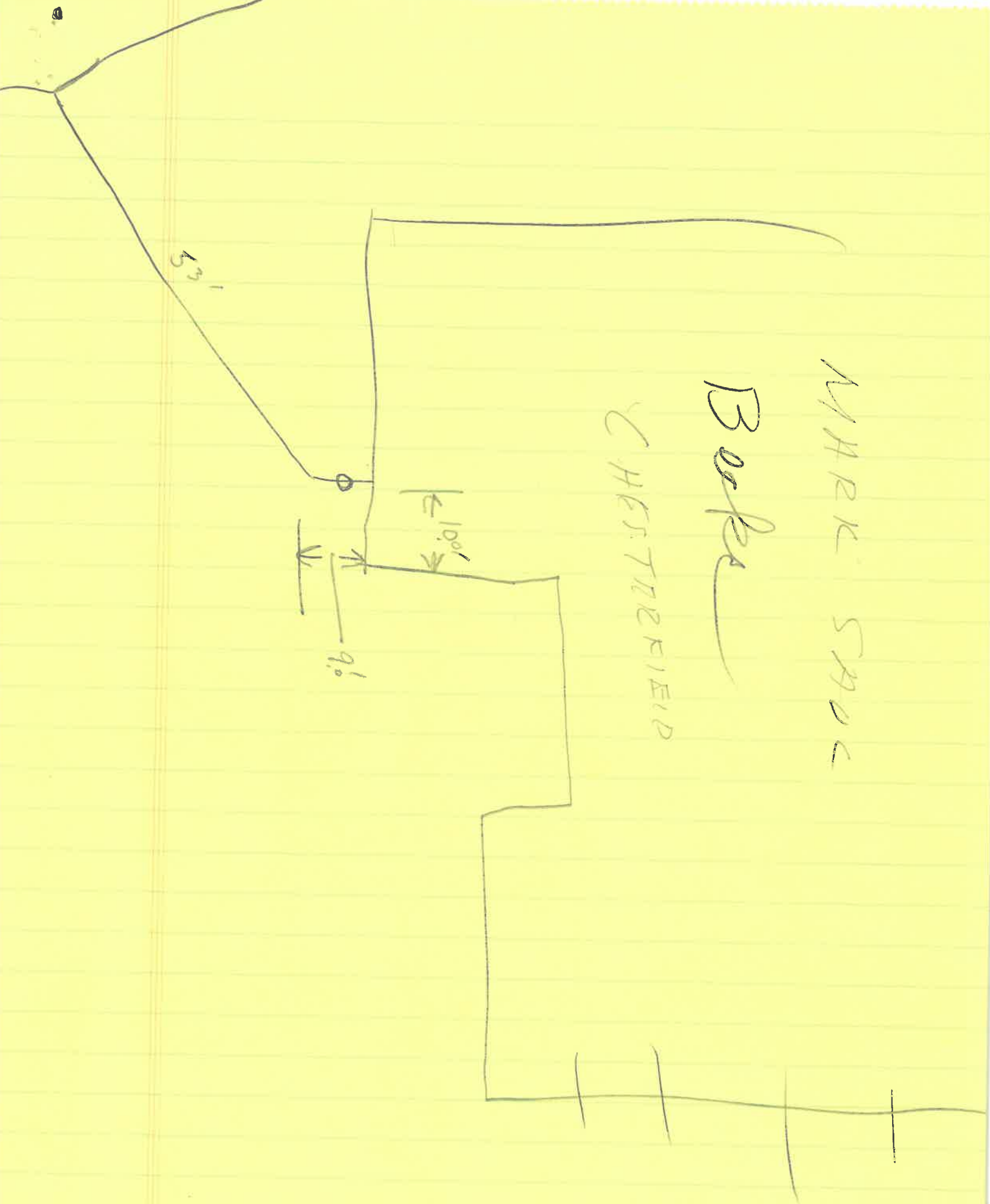
cc: Roger Freytag

EH:skw

MARK SPACE

Barker

CHESTERFIELD





City of NAPOLEON, OHIO

255 RIVERVIEW AVENUE - (419) 592-4010
NAPOLEON, OHIO 43545-0151

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November 2, 1989

Beck's Construction
11-622 County Road M
Napoleon, Ohio 43545

Re: Mark Saul residence
960 Chesterfield Drive
Permit No. 01856

Dear Mr. Beck:

This letter shall inform you that the deflection test has not been completed on the sewers. Therefore, at this point I cannot permit taps to be made.

As soon as the tests are complete to the satisfaction of the Engineering Department, I will let you know and you can go ahead with the work.

Sincerely,

Eldon Huber
Building Inspector

cc: Roger Freytag

EH:skw



City of NAPOLEON, OHIO

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NAPOLEON, OHIO 43545-0151

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Jeffrey R. Lankenau

November 2, 1989

Roland Demaline & Sons
1369 County Road 16
Wauseon, Ohio 43567

Re: Tom Weaver residence
920 Chesterfield Drive
Permit No. 01861

Dear Sir:

This letter shall inform you that the deflection test has not been completed on the sewers. Therefore, at this point, I cannot permit taps to be made.

As soon as the tests are complete to the satisfaction of the Engineering Department I will let you know and you can go ahead with the work.

Sincerely,

Eldon Huber
Building Inspector

cc: Roger Freytag

EH:skw

TEMPORARY OCCUPANCY PERMIT

6000 THRU 5-31-90

960 Chesterfield Drive
Lot No. 11 - Twin Oaks 1st Addition
Mark Saul

Temporary occupancy is granted to Mark Saul provided that the following items are completed as conditions permit:

- 1) Provide a 4' sidewalk 1' from the property line along the Chesterfield Drive frontage.
- 2) Replace the door separating the house from the garage with a minimum of a 1 3/8" solid cord wood door.
- 3) Provide a smoke detector in the basement.
- 4) Attach the basement columns to the beam and to the floor with 4 - 1/2" bolts.
- 5) Attach the beam to the sill plate with 1/2" bolts at 4' O.C. staggered.
- 6) Provide a step at the patio door.

NOTE: Time to Complete:

Item No. 2, 3, and 6 - before occupancy.

Item No. 4 and 5 - before March 30, 1990.

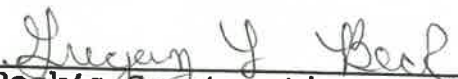
Item No. 1 - when weather and site conditions permit.



Eldon Huber
Building Inspector

Accepted by:


Mark Saul, Owner


Beck's Construction, Builder

3-10-14
10:50 AM

0000